



A Planning Application For:

WINDY HILL PROPERTY VENTURES

95 FIRST STREET
LOS ALTOS, CA 94022



PROJECT DESCRIPTION

THIS IS A NEW 56,970 S.F. 4-STORY OFFICE AND RESIDENTIAL BUILDING WITH BELOW GRADE 2 LEVEL PARKING STRUCTURE ON A 22,414 S.F. LOT. SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE BUILDING SHELL AND CORE, COMPLETE BUILD OUT OF RESIDENTIAL COMPONENT AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, STREET TREES, ETC.

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
- 2019 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
- 2019 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
- 2019 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
- 2019 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)
- 2019 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

PROJECT DATA

OWNER NAME:	WINDY HILL PROPERTY VENTURES	BUILDING AREA, OFFICE:	53,227 S.F.
PROJECT ADDRESS:	95 FIRST STREET LOS ALTOS, CA 94022	TOTAL RESIDENTIAL UNITS:	15
		NUMBER OF STORIES:	4
		CONSTRUCTION TYPE:	I-B
		FIRE SPRINKLERS:	YES
		OCCUPANCY TYPE:	B, S-2 AND R-2

PROJECT TEAM

OWNER:	WINDY HILL PROPERTY VENTURES 530 Emerson Street, Suite 150 Palo Alto, CA 94301	ARCHITECT:	ARC TEC INC. 1731 Technology Drive, Suite 750 San Jose, CA 95110 PHONE: 408.496.0676 CONTACT: Evan Sockalosky EMAIL: evans@arctecinc.com
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LANDSCAPE ARCHITECT:	KLA, INC 151 N. Norlin Street Sonoma, CA 95370 PHONE: 209.532.28.56 CONTACT: Matt Hawks EMAIL: matt@knoxia.com	CIVIL ENGINEER:	BKF 255 Shoreline Drive, Suite 200 Redwood City, CA 94065 PHONE: 925.396.7726 CONTACT: Alyssa Jacobson, PE EMAIL: ajacobson@bkf.com
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DRAWING INDEX AND ISSUE DATES

- PRELIMINARY OR PRICING PLANS
- FIRST FORMAL SUBMITTAL OR NO CHANGES
- SINCE PREVIOUS ISSUE
- MODIFICATIONS SINCE PREVIOUS ISSUE

ISSUE DATES AND DESCRIPTIONS
12.28.2021 PLANNING SUBMITTAL
03.30.2022 PLANNING SUBMITTAL

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VICINITY MAP



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3D RENDERING VIEW 2 - FIRST AND SHASTA STREET

SCALE: NTS

1



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DATE	DESCRIPTION
12/29/2021	PLANNING SUBMITTAL 1
03/30/2022	PLANNING SUBMITTAL 2

RENDERING

A 0.02

PROJECT NO: 215446

SCALE: NTS

PLANNING APPLICATION FOR:

DATE	DESCRIPTION
12/29/2021	PLANNING SUBMITTAL 1
03/30/2022	PLANNING SUBMITTAL 2

RENDERING

A 0.03

PROJECT NO: 215446



STREET VIEW RENDERING FROM 1ST AND SHASTA STREET

SCALE: NTS

1



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RENDERING

A 0.04

PROJECT NO: 215446





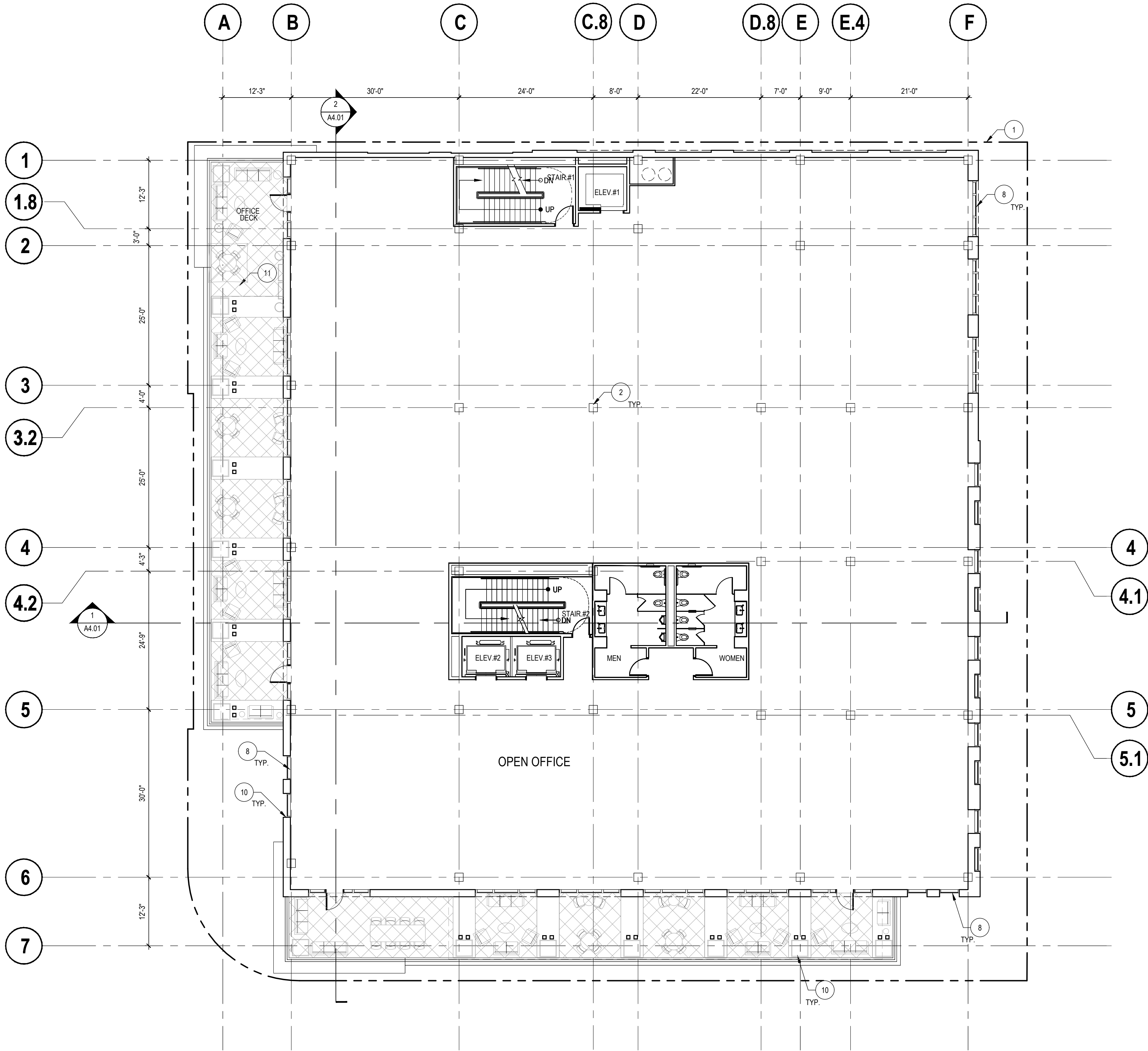
PROJECT NO: 215446



- 1 PROPERTY LINE
- 2 STRUCTURAL COLUMN
- 3 CAST-IN-PLACE CONCRETE WALLS
- 4 CONCRETE RAMP
- 5 WALL MOUNTED METAL TRELLIS
- 6 BALCONY BELOW
- 7 ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED
- 8 EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 9 RESIDENTIAL BALCONY
- 10 EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 11 TRELLIS STRUCTURE
- 12 TRASH CHUTE
- 13 BALCONY DIVIDERS
- 14 PLANTERS - REF. LANDSCAPE DRAWINGS.



SCALE: 3/32" = 1'-0"



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 PROPERTY LINE
- 2 STRUCTURAL COLUMN
- 3 CAST-IN-PLACE CONCRETE WALLS
- 4 CONCRETE RAMP
- 5 WALL MOUNTED METAL TRELLIS
- 6 BALCONY BELOW
- 7 ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED
- 8 EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 9 RESIDENTIAL BALCONY
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- 12 TRASH CHUTE
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THIRD LEVEL FLOOR PLAN

SCALE: 3/32" = 1'-0"



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THIRD LEVEL FLOOR PLAN

A 2.13

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NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 100



SCALE: 3/32" = 1'-0"



PROJECT NO: 215446



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SCALE: 3/32" = 1'-0"



TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
26-50	2	YES



SCALE: 3/32" = 1'-0"



NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- | TOTAL PARKING SPACES | MINIMUM REQUIRED | COMPLIANT |
|----------------------|------------------|-----------|
| 26-50 | 2 | YES |



1



2

NOT ALL KEYNOTES MAY APPLY

- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN DARK ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
- 2 1" INSULATED LOW E GLAZING SYSTEM WITH BLUE GLASS IN DARK ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
- 3 INTEGRAL COLOR GFRG PANEL
- 4 GFRG CORNICE AND WINDOW TRIM
- 5 STONE TILE
- 6 MANSARD TILE ROOF
- 7 WOOD TRELLIS
- 8 TEMPERED GLAZING GUARDRAIL
- 9 WALL SCONCE LIGHTING FIXTURE
- 10 THIN MULLIONS AND REDUCED WINDOW PANES AT TRANSOM
- 11 EXPRESSED MULLION
- 12 OFFICE ENTRY DOOR
- 13 ENTRY TO BELOW GRADE PARKING STRUCTURE
- 14 RESIDENTIAL ENTRY DOOR
- 15 ADJACENT PROPERTY LINE SHOWN DASHED
- 16 FOLDING GLASS NANA WALL
- 17 WOOD SIDING AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 18 METAL CANOPY AND SUPPORT RODS
- 19 RESIDENTIAL NAIL FIN BLACK ALUMINUM WINDOWS
- 20 FROSTED 1" INSULATED LOW E GLAZING SYSTEM WITH BLUE GLASS IN BLACK ANODIZED ALUMINUM FRAMES
- 21 WALL MOUNTED METAL GREEN SCREEN
- 22 PLANTER - REF. LANDSCAPE DRAWINGS.

G1	GLAZING* TYPE: COLOR:	1" INSULATED LOW TINT	S1	STONE TILE MANUFACTURER: STONE TYPE:	ARIZONA TILE CLASSIC LIMESTONE
G2	GLAZING* TYPE: COLOR:	1" INSULATED BLUE TINT	S2	TRIM TO MATCH: MANUFACTURER: STONE TYPE:	ARIZONA TILE CLASSIC LIMESTONE
GFI	GFRG, INTEGRAL COLOR TO MATCH COLOR: MANUFACTURER: COLOR :	DUNN EDWARDS DE6143 ALMOND LATE	M1	MELLION AND METAL TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DE6371
GFI	GFRG, INTEGRAL COLOR TO MATCH COLOR: MANUFACTURER: COLOR :	DUNN EDWARDS DE6207 EGYPTIAN SAND	W	WOOD TO MATCH MANUFACTURER: SERIES: COLOR:	WILSONART PREMIUM LAMINATE AVONDALE ASH 8228
GFI	GFRG, INTEGRAL COLOR TO MATCH COLOR: MANUFACTURER: COLOR :	DUNN EDWARDS 6206 DESERT SUEDE			

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BUILDING ELEVATIONS

A 3.02

PROJECT NO: 215446



1ST AND SHASTA - OFFICE ENTRY

SCALE: 1/4" = 1'-0"

2



ENLARGED WEST ELEVATION - FIRST STREET - OFFICE LEVEL - OFFICE DECK

SCALE: 1/4" = 1'-0"

3



SHASTA STREET - OFFICE LEVEL

SCALE: 1/4" = 1'-0"

1



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BUILDING ELEVATIONS

A 3.03

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GENERAL NOTES

1. BOUNDARY: BOUNDARY INFORMATION IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF DATED 01/31/2022.
2. SOURCE OF TOPOGRAPHY: EXISTING TOPOGRAPHY SHOWN IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF ENGINEERS DATED 01/31/2022.
- 3.
4. GRADING: SITE GRADES AND BUILDING/GARAGE FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL ENGINEERING DESIGN AND GEOTECHNICAL ENGINEER'S REVIEW AND APPROVAL.
5. UTILITIES: UTILITY SIZING, LOCATIONS, AND GRADES ARE SUBJECT TO FINAL ENGINEERING DESIGN, GEOTECHNICAL ENGINEER AND RESPECTIVE UTILITY AGENCY REVIEW AND APPROVAL.

A. EXISTING UTILITIES SHOWN ARE FROM FIELD OBSERVATIONS AND RECORD DRAWINGS AND ARE NOT MEANT TO BE A FULL CATALOG OF ACTUAL CONDITIONS.

B. EXISTING ON-SITE UTILITIES SHOWN ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON PLANS.

C. THE WATER DISTRIBUTION WILL BE DESIGNED AND CONSTRUCTED PER CALIFORNIA WATER SERVICE STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

D. THE SANITARY SEWER SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

E. THE STORM DRAIN SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

8. FEMA DESIGNED FLOOD ZONE: FLOOD ZONE 'X'; OTHER AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PER FLOOD INSURANCE RATE MAP NUMBER 06085C0038H DATED 05/18/2009.

9. LANDSCAPE PLAN: LANDSCAPE PLAN BY KLA INCORPORATED SHALL BE APPROVED AS PART OF FINAL IMPROVEMENT PLANS FOR THE PROJECT.

FIRE DEPARTMENT NOTES

1. A SEPARATE APPLICATION AND PERMIT ARE REQUIRED FOR THE INSTALLATION OF ANY UNDERGROUND FIRE SERVICE LINES. APPLICATION SHALL BE MADE BY A REGISTERED ENGINEER OR BY EITHER A GENERAL ENGINEERING CONTRACTOR OR A LICENSED FIRE SPRINKLER CONTRACTOR, WHO WILL BE PERFORMING THE WORK.
2. IN ACCORDANCE WITH THE MUNICIPAL/ REGEIONAL STORM WATER PERMIT, NO FIRE SPRINKLER SYSTEM DRAIN SHALL DISCHARGE INTO ANY STORM DRAIN SYSTEM. THE SYSTEM SHALL DISCHARGE TO EITHER A LANDSCAPE AREA LARGE ENOUGH TO CONTAIN THE OUTFLOW, OR TO THE SANITARY SEWER BY MEANS OF AN INDIRECT CONNECTION. INDICATE THE LOCATION OF THE FIRE SPRINKLER SYSTEM DRAIN ON PLANS SUBMITTED FOR A BUILDING PERMIT.

LEGEND

	PROPOSED	EXISTING
SITE BOUNDARY	---	---
COUNTY BOUNDARY	---	---
LOT LINE	---	---
CONTOUR LINE		100'
FENCE	—X—	—X—
STORM DRAIN	=====	=====
SANITARY SEWER	=====	— SS —
WATER MAIN	— W —	— W —
FIRE WATER MAIN		
GAS LINE	— GAS —	— GAS —
JOINT TRENCH	— E —	— E —
SANITARY SEWER CLEAN OUT	● CO	
SANITARY SEWER MANHOLE	●	⊙
STORM DRAIN CURB INLET	■	
STORM DRAIN MANHOLE	●	⊙
STORMFILTER	▢	
DETECTOR CHECK & METER	▢	
COMPOUND METER		
FIRE DEPARTMENT CONNECTION		
FIRE HYDRANT		⊕
WATER VALVE		⊕
MONUMENT		
TRANSFORMER	▢	
BIKE RACK	▢	
STREET LIGHT	⊙	⊙
INLET PROTECTION	⊙	
POLE LIGHT	⊙	
STORM DRAIN CLEAN OUT	●	
STORM DRAIN AREA DRAIN	■	
STORM DRAIN CATCH BASIN	■	
OVERHEAD WIRES		— OH —
STREET SIGN	—	
SPOT ELEVATION	X TC 8.70	X TC 8.70
FRESH AIR INLET	■	
WATER METER	▢	WM
BACK FLOW PREVENTER	▢	
AUXILIARY WATER SUPPLY SYSTEM		— AWSS —
JOINT POLE		
TREE		⊙

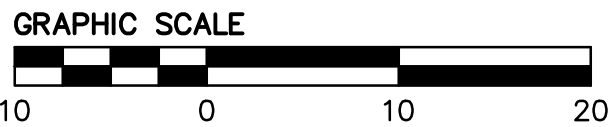
ABBREVIATIONS

Δ	DELTA
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
ACP	ASBESTOS CEMENT PIPE
AD	AREA DRAIN
ADJ	ADJACENT
APP	APPENDIX
APN	ACCESS POINT NAME
AWSS	AUXILIARY WATER SUPPLY SYSTEM
B/W, BW	BACK OF WALK
BC	BEGINNING OF CURVE
BCR	BEGINNING CURB RETURN
BFP	BACKFLOW PREVENTER
BLD, BLDG	BUILDING
BTM	BOTTOM
BRC	BOTTOM OF RETAINING CURB
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
BSW	BACK OF SIDEWALK
C&G	CURB AND GUTTER
CB	CATCH BASIN
CCP	CONCRETE CYLINDER PIPE
CL, C	CENTER LINE
CLR	CLEARANCE
CO	CLEANOUT
COMM	TELECOM
CONC	CONCRETE
COR	CORNER
CS	COMBINED SEWER
CSMH	COMBINED SEWER MANHOLE
CATV, CTV	CABLE TELEVISION
DSDA	DOUBLE CHECK DETECTOR ASSEMBLY
DI	DROP INLET
DIA	DIAMETER
DMA	DRAINAGE MANAGEMENT AREA
DOC, DU	DOCUMENT
DW	DOMESTIC WATER
DWG	DRAWING
DWY	DRIVEWAY
E	EAST
E, ELEC	ELECTRIC
EASE, ESMT	EASEMENT
EB	ELECTRIC BOX
EC	END OF CURVE
ECC	EXTRUDED CONCRETE CURB
ECR	END CURB RETURN
EG	EXISTING GROUND
EL, ELEV	ELEVATION
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX, EXIST	EXISTING
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FNC	FENCE
FO	FIBER OPTIC CABLE
FS	FIRE SERVICE
FT	FEET
FW	FIRE WATER
G	GAS
GB	GRADE BREAK
GM	GAS METER
GND	GROUND
GFM	GALLONS PER MINUET
GR	GRATE, GRATE ELEVATION
GV	GATE VALVE
HASP	HEALTH & SAFETY PLAN
HCAP	HANDICAPPED
HC, HCR	HANDICAP RAMP
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
H, HORZ	HORIZONTAL
ID	INNER DIAMETER
INV	INV
IRR	IRRIGATION
JP	JOINT POLE
JT	JOINT TRENCH
L	LENGTH
L/C, LS	LANDSCAPE
LF	LINEAR FEET
LG	LIP OF GUTTER
LID	LOW IMPACT DEVELOPMENT
LOW	LIMIT OF WORK
LT	LIGHT
LSCP	LANDSCAPE
LT	LIGHT
MAX	MAXIMUM
MB	MAIL BOX
MB	MINIMUM
MH	MANHOLE
MPWD	MID-PENINSULA WATER DISTRICT
N	NORTH
NTS	NOT TO SCALE
NO	NUMBER
OC	OFF CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OR, O.R.	OFFICIAL RECORD
PCC	PORTLAND CEMENT CONCRETE
PDL	PEDESTAL
PRC	POINT OF REVERSE CURVATURE
PCL	PARCEL
PERF	PERFORATED
PG&E	PACIFIC GAS & ELECTRIC
PKG	PARKING
PL	PROPERTY LINE
PM	PARKING METER
POC	POINT OF CONNECTION
PR	PROPOSED
PR	POINT OF COMPOUND CURVE
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INFLECTION
R	RADIUS, RIGHT OF ALIGNMENT LINE
RCP	REINFORCED CONCRETE PIPE
RIM	RIM ELEVATION
RC	RELATIVE COMPACTION
RFL	ROOF LEADER

RW,ROW	RIGHT OF WAY
RWC	REDWOOD CITY
S	SLOPE, SOUTH
SAN.	SANITARY
SD	STORM DRAIN
SDCB	STORM DRAIN CATCH BASIN
SF	SQUARE FEET
SFDPW	SF DEPARTMENT OF PUBLIC WORKS
SFPUC	SF PUBLIC UTILITIES COMMISSION
S.E.P.	SEE ELECTRICAL PLANS
S/W	SIDEWALK
S.A.D.	SEE ARCHITECTURAL DRAWINGS
SD	STORM DRAIN
SDAD	STORM DRAIN AREA DRAIN
SDCO	STORM DRAIN CLEANOUT
SDDI	STORM DRAIN DROP INLET
SDMH	STORM DRAIN MANHOLE
S.F.P.P.	SEE FIRE PROTECTION PLAN
SMGP	SOIL & GROUNDWATER MONITORING PLAN
S.J.T.P.	SEE JOINT TRENCH PLANS
SL	STREET LIGHT
SLP	STREET LIGHT BOX
S.L.P.	SEE LANDSCAPE PLANS
S.P.P.	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
ST	STREET
STA	STATION
STD	STANDARD
T&G	TONGUE AND GROVE
T, TEL, TELE	TELEPHONE
TBD	TO BE DETERMINED
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TRANS	TRANSFORMER
TRC	TOP OF RETAINING CURB
TSB	TRAFFIC SIGNAL BOX
TTC	THEORETICAL TOP OF CURB
TWELL	TREE WELL
TYP	TYPICAL
VC	VERTICAL CURVE
V, VERT	VERTICAL
VG	VALLEY GUTTER
UB	UTILITY BOX
U.C.D.	UNDERGROUND COMMERCIAL DISTRIBUTION
USA	UNDERGROUND SERVICE ALERT
W	WATER, WEST
WM	WATER METER
WV	WATER VALVE
W/	WITH

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	DETAIL SECTION A ON SHEET C1.01
	DETAIL A ON SHEET C1.01



PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
95 FIRST STREET
LOS ALTOS, CA 94022

DATE	DESCRIPTION
03/29/2022	PLANNING SUBMITTAL 2

NOTES,
LEGEND, &
ABBREVIATIONS

C1.1

PROJECT NO: 215446

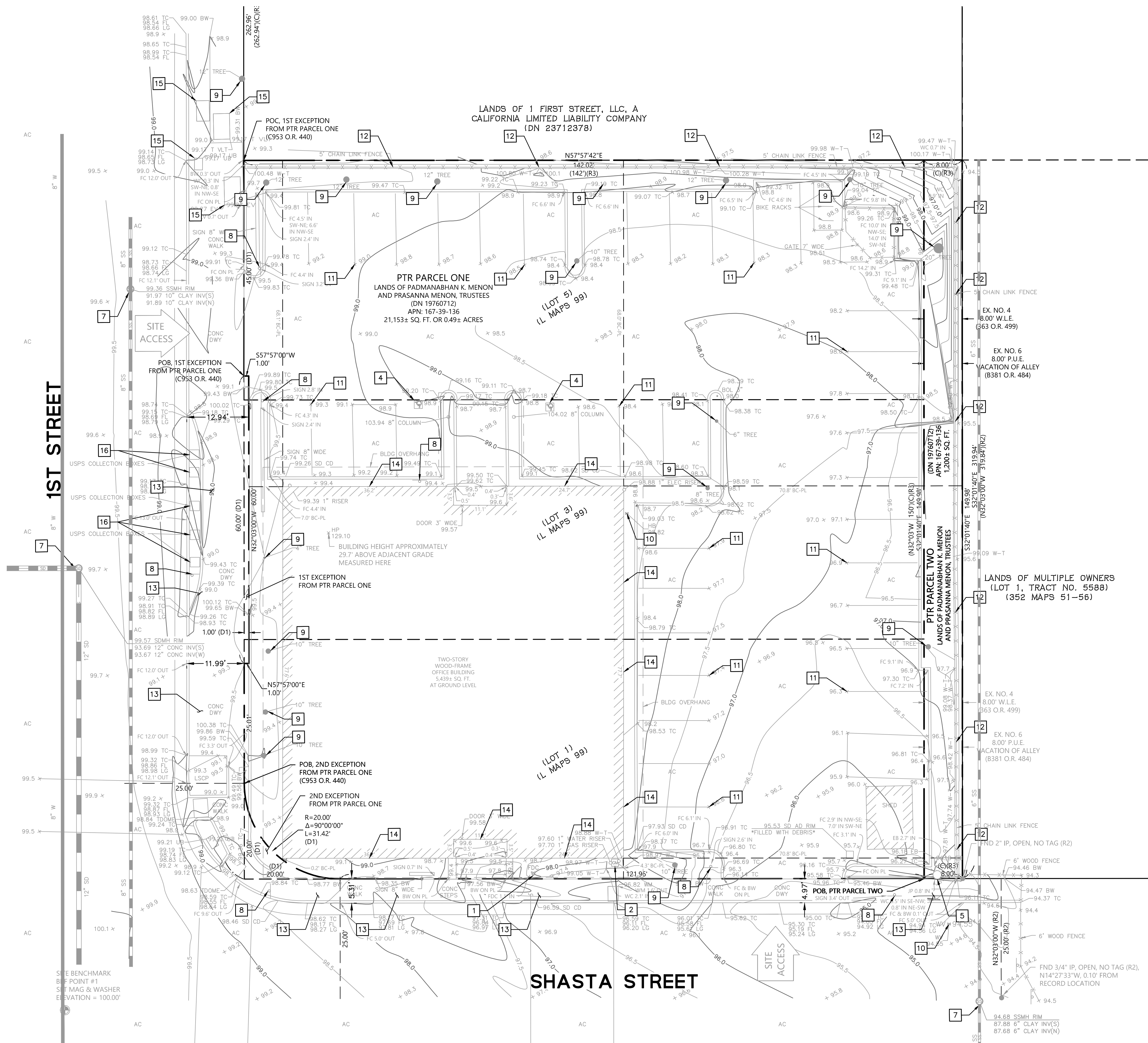
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EXISTING CONDITIONS KEY NOTES

- 1 EX FIRE DEPARTMENT CONNECT
- 2 EX GAS METER
- 3 NOT USED
- 4 EX HANDICAP PARKING SPACE TYP.
- 5 EX JOINT POLE
- 6 NOT USED
- 7 EX SANITARY SEWER MANHOLE
- 8 EX SIGN
- 9 EX TREE AS NOTED
- 10 EX VALVE AS NOTED
- 11 EX PARKING STALL TYP.
- 12 EX FENCELINE TYP.
- 13 EX CURB
- 14 EX BUILDING WALL
- 15 EX UTILITY BOX
- 16 EX MAILBOX TO BE RELOCATED

PROJECT BENCHMARK

THE ASSUMED ELEVATION OF 100.00 FEET AT BKF CONTROL POINT 1, A SET MAG NAIL AND WASHER SOUTHWESTERLY OF THE INTERSECTION OF SHASTA STREET AND FIRST STREET WAS USED AS THE BASIS OF ELEVATIONS FOR THIS SURVEY, SHOWN HEREON AS THE SITE BENCHMARK

BASIS OF BEARINGS

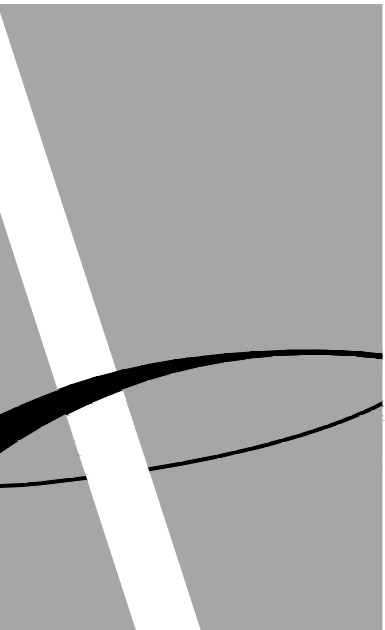
THE BEARING OF NORTH 32°03'00" WEST BETWEEN THE TWO FOUND WELL MONUMENTS IN THE CENTERLINE OF FIRST STREET AS SHOWN ON THAT CERTAIN RECORD ON JULY 3, 2001 IN BOOK 740 OF MAPS AT PAGE 39, RECORDS OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

DATUM STATEMENT

THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

FLOOD ZONE

THE PROJECT SITE IS MAPPED WITHIN ZONE X PER FEMA FLOOD INSURANCE RATE MAP NUMBER 06085C0038H, WITH EFFECTIVE DATE MAY 18, 2009. FLOOD ZONE X IS 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.



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PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

95 FIRST STREET
LOS ALTOS, CA 94022

DATE	DESCRIPTION
03/29/2022	PLANNING SUBMITTAL 2

**EXISTING
SITE PLAN**



GRAPHIC SCALE



C2.0

PROJECT NO: 215446

LID TREATMENT AREA SUMMARY			
NON-LID TREATED DRAINAGE AREA	DA-2: 14,365 (SF)	PERCENTAGE (75% ALLOWED)	69%
LID TREATED DRAINAGE AREA	DA-1 + DA-3: 6,390 (SF)	PERCENTAGE	31%

GRAPHIC SCALE



10 0 10 20

PROJECT NO: 215446

DATE	DESCRIPTION
03/29/2022	PLANNING SUBMITTAL 2



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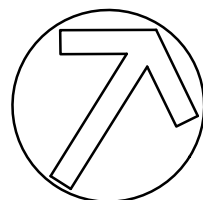
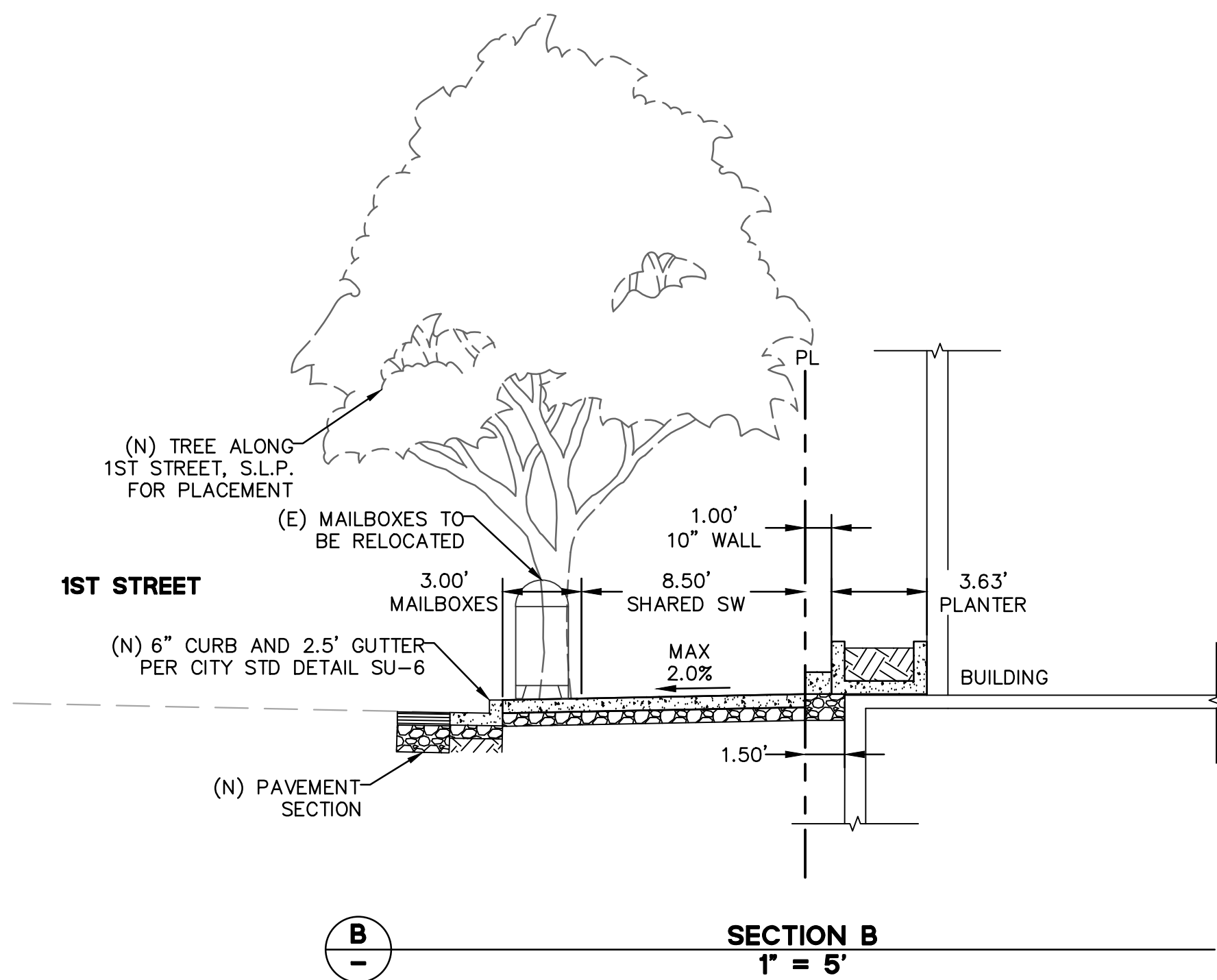
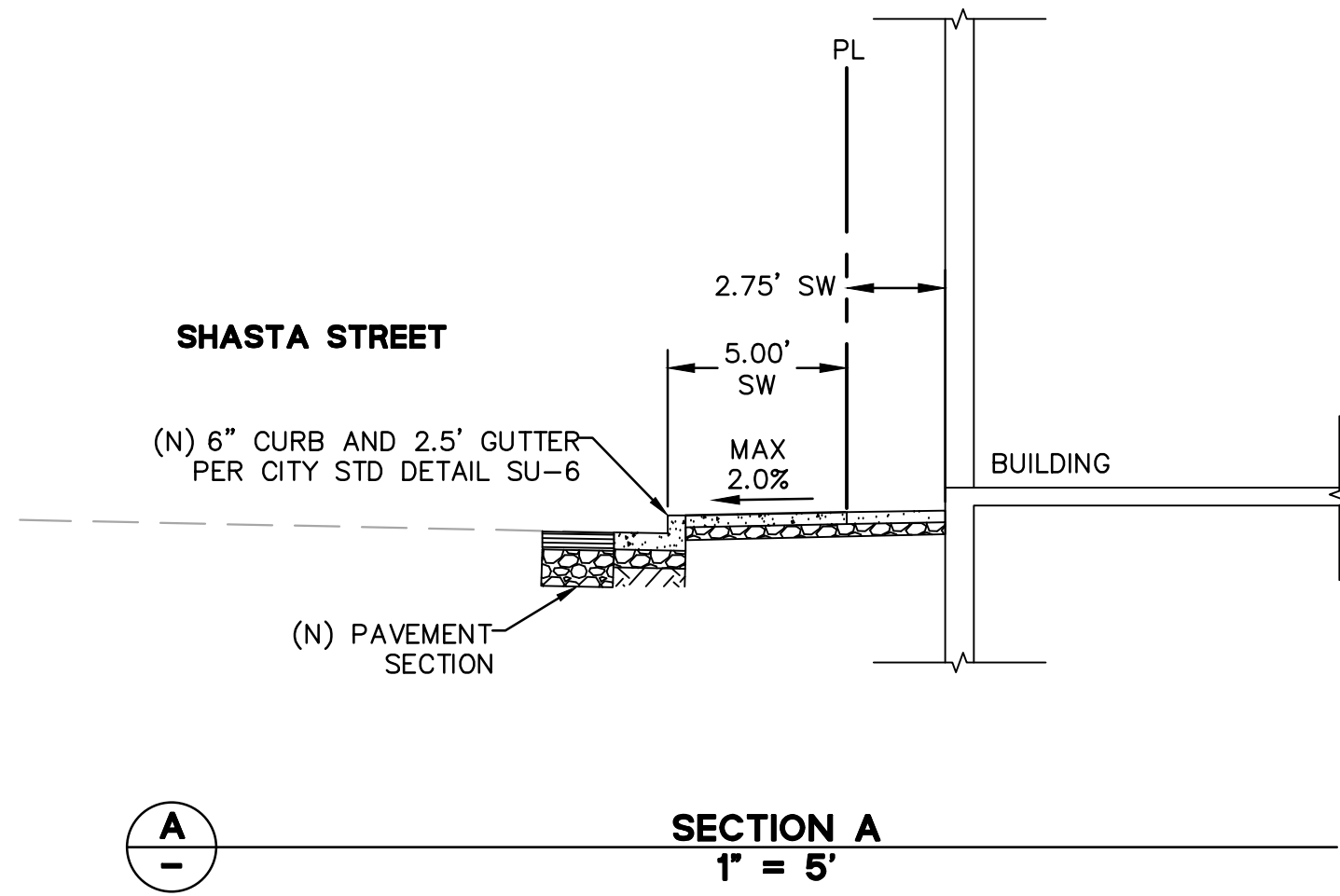
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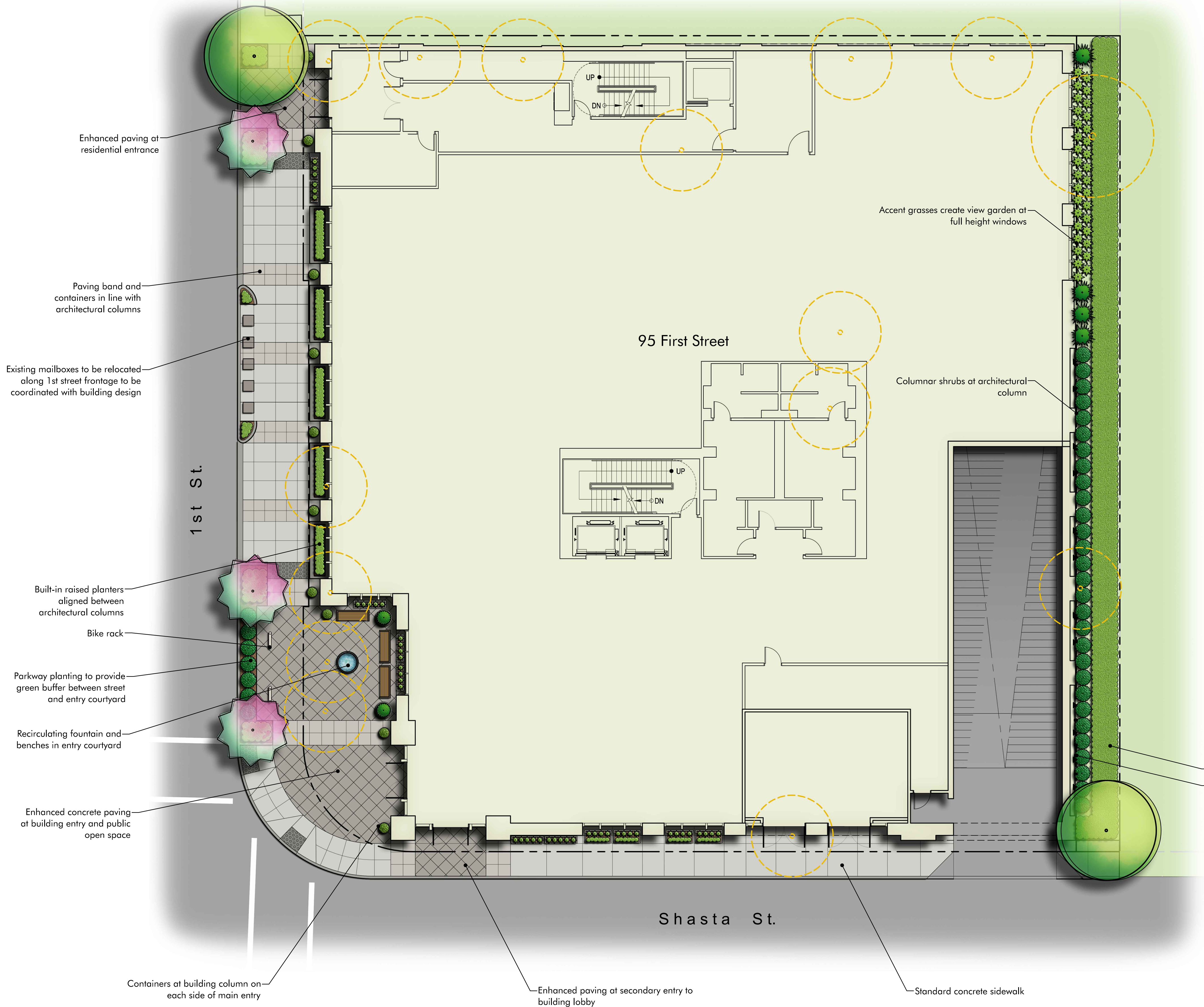
CROSS SECTIONS

C6.0

PROJECT NO: 215446



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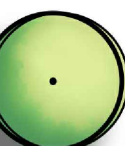
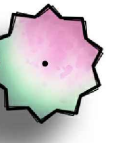

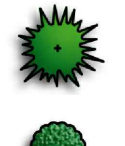

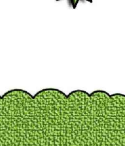


Landscape Concept


The landscape design concept for the new mixed use building is to provide an enjoyable and aesthetic space for the employees, residents, and guests that fits within the landscape framework of the surrounding area. Plant material has been selected that performs well in the special conditions of Los Altos (Sunset Zone #15).

No new turf areas are being added. Low and medium water-use hardy trees, shrubs, grasses, and groundcover are proposed for the landscape around building. The landscape (and associated irrigation) has been designed to be compliant with City of San Mateo Water Efficient Landscape Ordinance.

Special considerations have been provided in selection of plant material that respects the needs of the office users as well as the guests. Clear and secure view corridors have been provided to ensure safety of people entering the building as well as moving around the site.

Preliminary Plant Palette

	Street Trees - 24"-Box Pistacia Chinensis 'Keith Davey'	Chinese Pistache
	Flowering Accent Trees - 24"-Box Lagerstroemia indica 'Natchez'	White Crape Myrtle
	Upright Accent Trees - 24"-Box Magnolia 'Little Gem' - Columnar Form	Little Gem Magnolia
Shrubs		
	Upright Columnar Shrubs - 15 gal. @ 24"-30" O.C. Cupressus sempervirens 'Tiny Towers' Thuja occidentalis 'Smaragd'	Tiny Tower Cypress Emerald Green Arborvitae
	Low Evergreen Hedge - 5 gal. @ 24"-30" O.C. Buxus microphylla japonica 'Green Beauty' Myrsine africana Myrtus communis 'Compacta' Raphiolepis umbellata 'Minor'	Green Beauty Boxwood African Boxwood Dwarf Myrtle Dwarf Yeddo Hawthorn
	Grasses or Accent Plants - 1 gal. @ 24"-36" O.C. Anisogonanthos hybridus Calamagrostis actiflora 'Karl Foerster' Dianella tasmanica 'Variegata' Dianella 'Little Rev'	Kangaroo Paw Feather Reed Grass Tasmanian Flax-lily Little Rev Flax Lily
	Groundcover - 1 gal. @ 30"-48" O.C. Coloneaster dammeri 'Lowfast' Teucrium chamaedrys 'Prostratum' Westringia fruticosa 'Low Horizon'	Spreading Bearberry Spreading Germander Coast Rosemary
	Climbing Vines - 15 gal. Trachelospermum jasminoides	Star Jasmine

 **Existing Trees to be removed**

The Preliminary Plant Palette represents a sampling of the types of shrubs and groundcovers that we anticipate to be appropriate for the location as well as the design style and overall theme. This is the list from which plant selection will be drawn from. Not all plants listed within this plant palette will be used in the final design and some plants not listed may be introduced. However, the planting design intent will remain consistent with this plan and plant palette.

Non-Living Groundcover

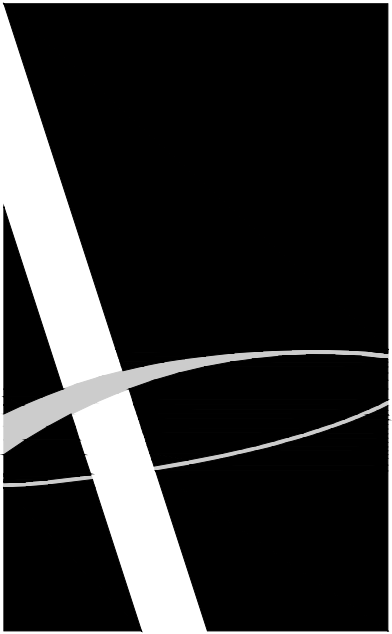
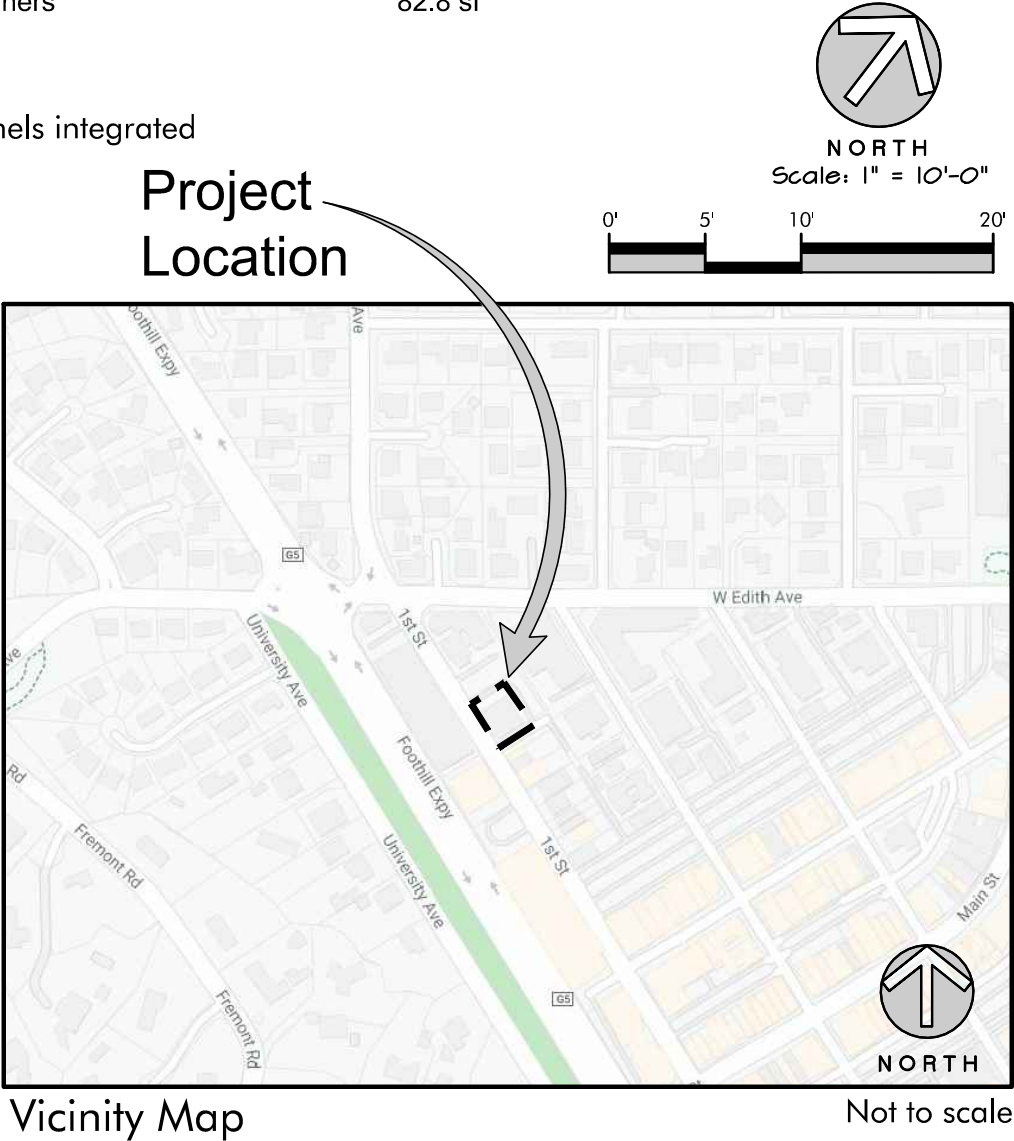
Mulch to be evenly distributed throughout all shrub and groundcover areas unless otherwise noted on plans. Mulch to be nitrogen stabilized, max. 3/4", recycled material installed at min. 3" depth. "Gorilla-Hair" is not acceptable unless specifically noted for slope areas.

Irrigation

The entire site will be irrigated using a fully automatic system and designed to meet the City's Water Efficient Landscaping Ordinance (WELO). The irrigation system will be subsurface drip line. Trees will be irrigated on separate circuits from the shrubs with deep root bubblers. The system will include in-line valves, quick couplers, and gate valves. The irrigation controller will be a "smart" controller by Rainbird, Toro, Hunter, or equal. A complete irrigation design with these parameters will be provided with the submittal of building permit plans.

Landscape Areas

At-Grade Planting	1,472.8 sf
Containers	82.8 sf



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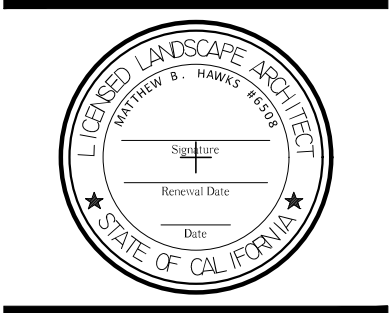
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PLANNING APPLICATION FOR:
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95 FIRST STREET
LOS ALTOS, CA 94022

DATE 03.29.2022 DESCRIPTION PLANNING SUBMITTAL

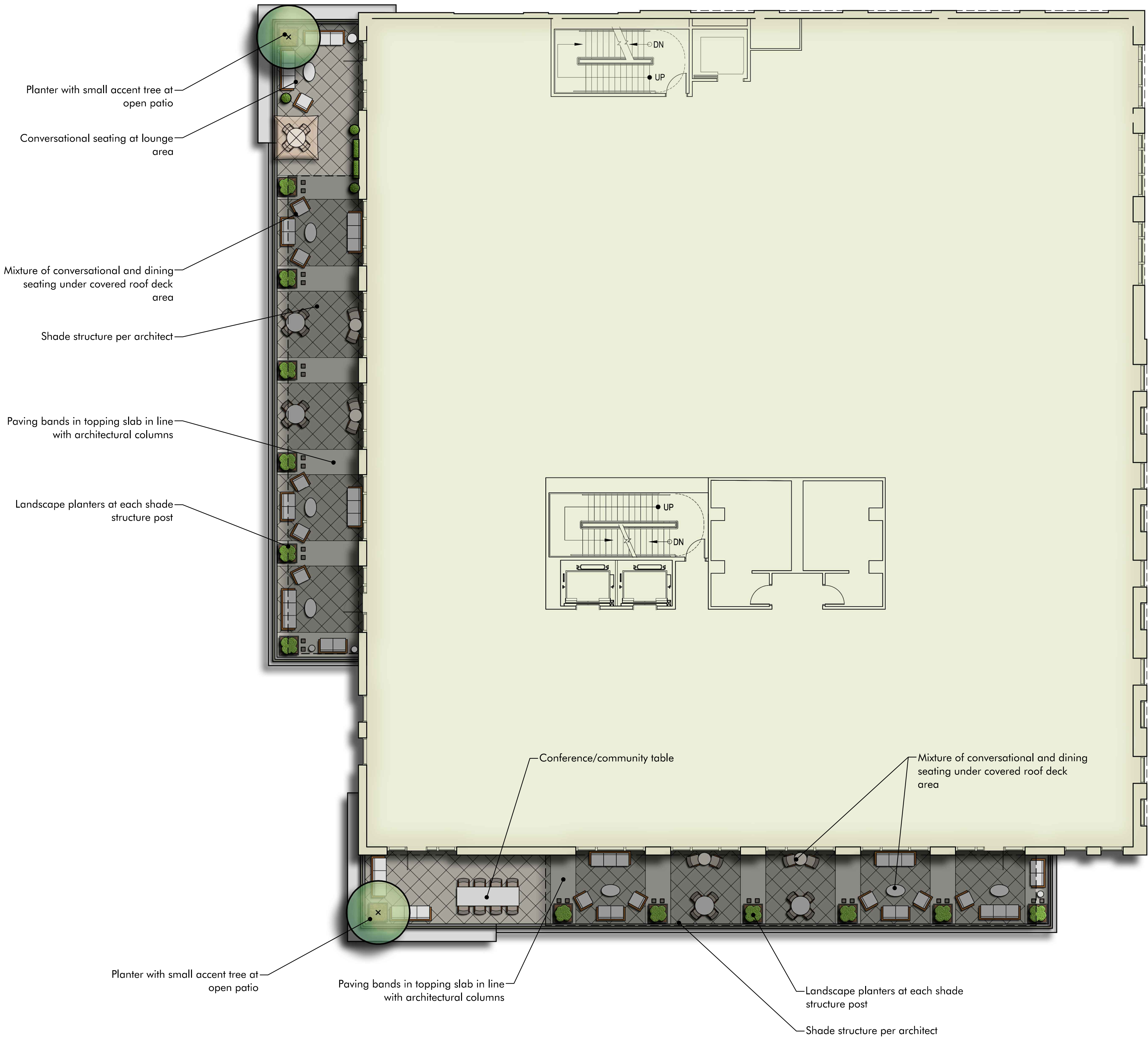


Preliminary
Landscape Plan

L0.1

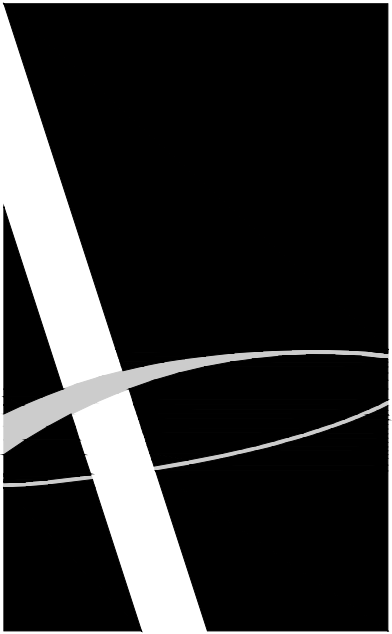
PROJECT NO. KLA-21-2388

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3rd Floor Roof Deck

1" = 10'-0"



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Preliminary
3rd Floor
Landscape Plan

L0.2
PROJECT NO: KLA-21-2388

